

**City of Starkville**  
**Development Review Committee**  
**Infrastructure Drawings Submittal Checklist for Site Plan Applications**

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Please submit ten (10) folded copies of the Infrastructure Drawings along with this completed checklist to the City Planner. When completing the checklist, please check the appropriate box. N/A – Not Applicable; App- Included in the Application. Please note that all items are required unless they are not applicable. Construction Drawings should be assembled in an orderly package, explain the proposed development and contain the following information:

- 1) **Cover Sheet**
- 2) **Survey of Existing Conditions**
- 3) **Layout Plan**
- 4) **Grading and Drainage Plan**
- 5) **Utilities Plan/Profile**
- 6) **Erosion Prevention and Sediment Control Plan**
- 7) **Roadway Plan/Profile**
- 8) **Construction Details**
- 9) **Landscape Plan**

**1. Cover Sheet:**

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N/A	App.	Staff	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	1) Project Name (all sheets)
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	2) Vicinity Maps
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	3) Sheet Index
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	4) Permanent benchmark location, information, and elevation
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	5) Owner name and contact information
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6) Design Professional name, contact, and stamp (all sheets)
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	7) Municipality and Utility contacts
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8) Mississippi One Call notification and contact information
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	9) Development data including: Project area (in acres), Phase area (in acres) (if Applicable), Disturbed area (in acres), Property zoning
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	10) Revision number (if applicable, all sheets)
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11) Date (all sheets)
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	12) North Arrow with Reference (all sheets)
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	13) Written and Graphic Scale (all sheets)

**2. Survey of Existing Conditions:**

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N/A	App.	Staff	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	1) Name and License Number of Surveyor & Seal
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	2) Date of Survey and References
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	3) North Arrow and Reference (Magnetic, State Plane, etc)
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	4) Written and Graphic Scale (Not smaller than 1"=50')
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	5) Tax Map Sheet, Lot and Block Numbers

- 6) Adjacent Lot Numbers and Owner's Names
- 7) Bearings and Distance of Boundary Lines
- 8) Existing Property Markers (Monuments, Iron Pins, etc)
- 9) Existing Features, Structures, and Improvements
  - a. Buildings, Type, FF Elevation
  - b. Fences, Walls
  - c. Trees, Wooded areas, Lakes, Ditches
- 10) Encroachments, with Dimensions
- 11) Easements (Type, Size, Ownership)
- 12) Flood Hazard Zone, Base Flood Elevation & Reference FEMA Map No.
- 13) Existing Contours
- 14) Existing site area in Square Feet and Acres
- 15) Existing Streets (Names, Right of Way, Paved Width)
- 16) Existing Curbing, Sidewalks, Drives, Aprons
- 17) Existing paved and Gravel Surfaces
- 18) Existing Parking Stalls and Loading Areas (Dimension stalls and aisles)
- 19) Existing Utilities and Connections (Size, Type)
- 20) Existing Lighting and Power Poles
- 21) Existing manholes, inlets, valve and meter boxes
- 22) City Limits(if applicable)
- 23) Adjacent Zoning Classification and Current Use (i.e. C-2, City Bagel Café)

### 3. Layout Plan:

- | N/A                      | App.                     | Staff                    |   |
|--------------------------|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 1) Boundary Lines (all sheets)  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 2) Setback Lines  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 3) Phase Lines (if applicable)  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 4) Easements (Existing and Proposed), Type and Size   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 5) Driveway Centerline  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6) Sidewalk   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 7) Site Data Table which includes: <ul style="list-style-type: none"> <li>a.)Site Area in Square Feet and Acres</li> <li>b.)Building Footprint in Square Feet</li> <li>c.)Floor Area Ratio</li> </ul>                       |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 8) Signage (Existing and Proposed)  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 9) Pavement Markings (Existing and Proposed)  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 10) All Existing Natural Drainage Conveyances and Water Features (creeks, ditches, ponds, lakes)  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 11) Match lines, if applicable  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 12) Location of Handicap Ramps for sidewalks  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 13) Existing Floodplain, if applicable  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 14) Curve Radii of Edge of Pavement at all Intersections  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 15) Angle of Intersection Street Centerline and driveway  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16) Development Plan Data including: <ul style="list-style-type: none"> <li>a. Property Zoning</li> <li>b. Setback Requirements</li> <li>c. Parking Requirements</li> <li>d. Parking provided (show calculation)</li> </ul> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17) Widths of Streets, R.O.W., Curbs, Sidewalks   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 18) Sight Triangles at Intersections  |

- 19) Limits of heavy duty pavement, if applicable
- 20) Dimensions to buildings, curb face for layout
- 21) Loading and fire zones
- 22) Driveway widths
- 23) Handicap parking, ramps, signage
- 24) Trash Areas- Dumpster Pad (drains if applicable) and Enclosures

**4. Grading and Drainage Plan:**

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- Provide complete drainage calculations, specifications, plans and construction details for all proposed storm drainage and detention/retention facilities
- No additional post-construction runoff permitted for all residential and non-residential developments
- Design for a 25-year storm

N/A App. Staff

- 1) Existing and Proposed Contours & Spot Elevations (Existing-dashed, Proposed-solid Lines)
- 2) Permanent Benchmark
- 3) Limits of Clearing & Grading, Paving
- 4) First Floor Elevations of Buildings
- 5) Existing utilities (Sanitary, Water, Gas, Electric)
- 6) Existing and Proposed Storm Sewer
  - a. Pipes (Size Type, Length, Slope)
  - b. Structures (Inlets {Gutter Spread for Curb Inlets}, Manholes, Junctions, Outlets) (Specify Type, Inverts In and Out, Rim Grate); insure Adequate cover
  - c. Identification Number (ex. MH-101, CI-41)
- 7) Easements (Label and Dimension); provide sufficient easements for practical Maintenance
- 8) Existing and Proposed Streams and Ditches, Size and Dimensions
- 9) Proposed swales (Show Flow Arrows, High Point)
- 10) Existing 100-year Floodplain line and elevations
- 11) Proposed Building Footprints
- 12) Proposed driveways
- 13) Detention/Retention Basin
  - a. Inlet and Outlet Structures
  - b. Proposed grading Plan and Spot Elevations
  - c. Emergency Outfall Spillway (design for 100-Year Storm)
  - d. Heavy Duty GeoGrid at Outlets
- 14) Sidewalks, aprons, handicap ramps
- 15) Proposed Curb
- 16) Trees to remain and Tree Protection details
- 17) Legend (Symbols and Abbreviations)
- 18) General Notes; ponds will not be the responsibility of the City
- 19) Each phase of construction must stand alone; i.e. each phase must be independent  
Of all other phases unless specific sequence of construction is provided for review
- 20) Placement of inlets shall not conflict with driveway or ADA ramp locations
- 21) Retaining walls location and elevations
- 22) Spot elevations and grades in handicap parking and access points

**5: Utilities Plan/Profile:**

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**Plan:**

N/A App. Staff

- 1) Existing Utilities Lines (Sanitary, Water, Gas, Telephone, Electric, Cable)
- 2) Existing Power Poles
- 3) Sanitary Sewer
  - a. Pipes (Size, Type, Length, Slope) Stationing at 50' intervals
  - b. Manholes (Type, Rim) Inverts In and Out, Station
  - c. Service Laterals (Size and Type)
  - d. Pump Station (Easement)
  - e. Force Main (Size, Type, Length) Stationing at 50' intervals
  - f. Force Main Air Release and Cleanout Manholes, Station, Elevations
  - g. Identification Number and Stationing (ex. Line 13, MH-101)
- 4) Easements (Label and Dimension)
- 5) Water Mains (Size, Type)
- 6) Fire Hydrants (Existing, Proposed)
- 7) Water Valves
- 8) Water service Connections
- 9) Grease interceptor, if applicable
- 10) Back flow prevention
- 11) Legend (Symbols, Abbreviations)
- 12) General Notes
- 13) Dumpster Pad Drains, if applicable (Restaurant and Food Service)

**Profile:**

N/A App. Staff

- 1) Manholes
  - a. Station of Structure (Left or Right)
  - b. Rim Elevation
  - c. Inverts (In, Out, Each Pipe)
  - d. Pipe (Check Clearance with Casting)
  - e. Identification Number (See Plan)
  - f. Show Water and Storm Piping conflicts and clearance
- 2) Sewer Gravity Main
  - a. Size
  - b. Material, Type
  - c. Length in feet
  - d. Slope in percent (%)
  - e. Check cover and clearance with water and storm pipes
  - f. Concrete encasements at Crossings
  - g. Show existing pipe/manholes in different symbols

**6: Erosion Prevention and Sediment Control Plan:**

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N/A App. Staff

- 1) Existing Topographic Contours
- 2) Existing Drainage Structures or conduits and flow direction
- 3) Existing Natural Drainage conveyances (creeks, ditches, etc.) and flow direction
- 4) Existing Trees to Remain and Tree Protection
- 5) Floodplain and Floodway, if applicable
- 6) Grading Limits and Proposed Contours
- 7) Total area to be cleared, graded, excavated, or filled
- 8) Proposed Construction Entrance(s)

- 9) All Proposed Structural BMPs (Silt Fence, Inlet Protection, Sediment basin, etc)
- 10) Details of all Proposed BMPs, if applicable
- 11) EPSC Notes
- 12) Proposed Phasing of BMPs, if applicable
- 13) Construction Sequence
- 14) Seeding Specifications and Seedbed preparation notes

## 7. Roadway Plan/Profile

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### Plan:

N/A App. Staff

- 1) Stationing at 50' Intervals
- 2) Existing and Proposed Utilities
- 3) Centerline Curve and Line Labels (May be in Tabular Format)
- 4) Horizontal Curve Labels and Station (PC, PT)
- 5) Roadway Elements (R.O.W., Curb, Sidewalk, E.O.P.)
- 6) Street Names

### Profile:

N/A App. Staff

- 1) Stationing and Elevations at 50' Intervals
- 2) Existing and Proposed Centerline Profile and Elevations
- 3) Proposed Centerline Grades and Slope in Percent
- 4) Vertical Curve Labels and Station (PVC, PVI, PVT, High and Low Point, K-value, Length)
- 5) Intersections (Station at Roadway Centerline & Name)

## 8. Construction Details

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N/A App. Staff

- 1) Pavement cross section(s)
- 2) Curb Details
- 3) Sidewalk Details
- 4) Pipe Bedding (for paved and unpaved areas, and specific to each pipe material)
- 5) Drainage Structures (Inlets, Manholes, Castings)
- 6) Endwalls and Flared End Sections
- 7) Sanitary Structures (Manholes, Cleanouts, Castings)
- 8) Manhole Drop Connections
- 9) Service Laterals and Cleanouts
- 10) Water Service
- 11) Fire hydrants (Valves, Tees, Thrust Blocks)
- 12) Wet Tap, Blow-off, Valves
- 13) Tree Planting, Tree Protection Details
- 14) Retaining Wall Details
- 15) Landscaping (Planting Details, Soil Amendment)
- 16) Lighting (Fixtures, Poles, Limit of Illumination)
- 17) Detention Basin Outlet Structure
- 18) Traffic Signage, Pavement Markings (Striping, arrows, etc.)
- 19) Special Site Specific Details
- 20) Ditches and swales
- 21) Grease interceptor
- 22) Back flow prevention

- 23) Signage details
- 24) Dumpster Pad Drains, if applicable

**9. Landscape Plan**

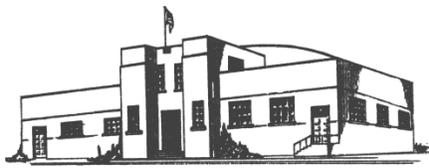
- | N/A                      | App.                     | Staff                    |  |
|--------------------------|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 1) Name, address and phone number of the owner and designer.   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 2) Property lines, easements and rights-of-way with internal and property line dimensions.   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 3) Location of existing or proposed utilities and services.  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 4) Location and size of any existing or proposed structures.   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 5) Location and size of any existing or proposed site features, such as earthen mounds, swales, walls, and water areas.  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6) Location and size of any existing or proposed vehicular use areas.  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 7) Location and size of any existing or proposed sidewalks, curbs and wheel stops.   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 8) Calculations of required type, dimensions, and square footage of landscape material and of required landscape areas, including: total site area, parking areas, other vehicular use area, percentage of non-vehicular open space, perimeter landscape strips, interior landscape strips and the required number of trees. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 9) Location of required landscape areas and dimensions.  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 10) Location, name, height, and size of all existing plant material to be retained and preserved.  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 11) Location, size, height, and description of all landscape material including name, quantity, quality, spacing and specified size and specification of all plant material.   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 12) Height, width, type, material, and location of all barriers of nonliving material.   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 13) Indicate location, dimensions and area of landscaping for existing or proposed signs.  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 14) Show all landscaping, buildings or other improvements on adjacent property within five feet of the common property line.   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 15) The landscaping plan shall be drawn by a landscape architect, engineer, architect or other person with comparable experience in the field of landscaping and design.   |

**INFRASTRUCTURE DRAWINGS SUBMITTAL CHECKLIST FOR SITE PLAN APPLICATION**

I acknowledge that plans or documents missing any of the required information will be deemed incomplete and not accepted for project review. Further, I understand that additional information or clarification may be requested during the review process.

Applicant's Signature

Date



**City of Starkville**  
**Development Review Committee**  
**Infrastructure Drawings Submittal Checklist for Subdivision Applications**

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Please submit six (6) folded copies of the Infrastructure Drawings along with this completed checklist to the City Planner. When completing the checklist, please check the appropriate box. N/A – Not Applicable; App- Included in the Application. Please note that all items are required unless they are not applicable.

Infrastructure Drawings should be assembled in an orderly package, explain the proposed development and contain the following information:

- 1) Cover Sheet**
- 2) Survey of Existing Conditions**
- 3) Layout Plan**
- 4) Grading and Drainage Plan**
- 5) Utilities Plan/Profile**
- 6) Erosion Prevention and Sediment Control Plan**
- 7) Roadway Plan/Profile**
- 8) Construction Details**

**1. Cover Sheet:**

---

N/A	App.	Staff	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	1) Project Name (all sheets)
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	2) Vicinity Maps
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	3) Sheet Index
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	4) Permanent benchmark location, information, and elevation
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	5) Owner name and contact information
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6) Design Professional name, contact, and stamp (all sheets)
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	7) Municipality and Utility contacts
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8) Mississippi One Call notification and contact information
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	9) Development data including: Project area (in acres), Phase area (in acres) (if Applicable), Number of lots proposed, Disturbed area (in acres), Property zoning
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	10) Revision number (if applicable, all sheets)
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11) Date (all sheets)
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	12) North Arrow with Reference (all sheets)
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	13) Written and Graphic Scale (all sheets)

**2. Survey of Existing Conditions:**

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N/A	App.	Staff	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	1) Name and License Number of Surveyor & Seal
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	2) Date of Survey and References
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	3) North Arrow and Reference (Magnetic, State Plane, etc)
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	4) Written and Graphic Scale (Not smaller than 1"=50')
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	5) Tax Map Sheet, Lot and Block Numbers

- 6) Adjacent Lot Numbers and Owner's Names
- 7) Bearings and Distance of Boundary Lines
- 8) Existing Property Markers (Monuments, Iron Pins, etc)
- 9) Existing Features, Structures, and Improvements
  - a. Buildings, Type, FF Elevation
  - b. Fences, Walls
  - c. Trees, Wooded areas, Lakes, Ditches
- 10) Encroachments, with Dimensions
- 11) Easements (Type, Size, Ownership)
- 12) Flood Hazard Zone, Base Flood Elevation & Reference FEMA Map No.
- 13) Existing Contours
- 14) Existing Gross Lot area in Square Feet and Acres
- 15) Existing Streets (Names, Right of Way, Paved Width)
- 16) Existing Curbing, Sidewalks, Drives, Aprons
- 17) Existing paved and Gravel Surfaces
- 18) Existing Parking Stalls and Loading Areas (Dimension stalls and aisles)
- 19) Existing Utilities and Connections (Size, Type)
- 20) Existing Lighting and Power Poles
- 21) Existing manholes, inlets, valve and meter boxes
- 22) City Limits(if applicable)

### 3. Layout Plan:

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- | N/A                      | App.                     | Staff                    |  |
|--------------------------|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 1) Lot Lines   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 2) Setback Lines   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 3) Lot Numbers   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 4) Phase Lines (if applicable)   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 5) Easements (Existing and Proposed), Type and Size  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6) Street Centerline   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 7) Centerline Station Labels   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 8) Sidewalk  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 9) R.O.W. Lines  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 10) Street Names (Existing and Proposed). Proposed Street names must be approved by USPS and E-911 |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 11) Lot area in Square Foot and Acres (may be included in tabular format)                          |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 12) Signage (Existing and Proposed)  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 13) Pavement Markings (Existing and Proposed)  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 14) All Existing Natural Drainage Conveyances and Water Features (creeks, ditches, ponds, lakes)   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 15) Match lines, if applicable   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16) Location of Handicap Ramps for sidewalks   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17) Existing Floodplain, if applicable   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 18) Curve Radii of Edge of Pavement at all Intersections   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 19) Angle of Intersecting Street Centerlines   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 20) Property Boundary (all sheets)   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 21) Widths of Streets, R.O.W., Curbs, Sidewalks  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 22) Adjacent Lot Owners  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 23) Sight Triangles at Intersections   |

- 24) Temporary Cul-de-Sacs, if applicable
- 25) Proposed Lighting
- 26) Address numbers of Lots boxed, i.e. 101

**4. Grading and Drainage Plan:**

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- Provide complete drainage calculations, specifications, plans and construction details for all proposed storm drainage and detention/retention facilities
- No additional post-construction runoff permitted for all residential and non-residential developments
- Design for a 25-year storm

N/A App. Staff

- 1) Existing and Proposed Contours & Spot Elevations (Existing-dashed, Proposed-solid Lines)
- 2) Permanent Benchmark
- 3) Limits of Clearing & Grading, Paving
- 4) First Floor Elevations of Buildings
- 5) Existing utilities (Sanitary, Water, Gas, Electric)
- 6) Existing and Proposed Storm Sewer
  - a. Pipes (Size Type, Length, Slope)
  - b. Structures (Inlets {Gutter Spread for Roadway Curb Inlets}, Manholes, Junctions, Outlets) (Specify Type, Inverts In and Out, Rim Grate); insure Adequate cover
  - c. Identification Number (ex. MH-101, CI-41)
- 7) Easements (Label and Dimension); provide sufficient easements for practical Maintenance
- 8) Existing and Proposed Streams and Ditches, Size and Dimensions
- 9) Proposed swales (Show Flow Arrows, High Point)
- 10) Existing 100-year Floodplain line and elevations
- 11) Proposed Building Footprints
- 12) Street Names and Address numbers of Lots boxed, i.e. 101
- 13) Lot Numbers
- 14) Detention/Retention Basin
  - a. Inlet and Outlet Structures
  - b. Proposed grading Plan and Spot Elevations
  - c. Emergency Outfall Spillway (design for 100-Year Storm)
  - d. Heavy Duty GeoGrid at Outlets
- 15) Sidewalks, aprons, handicap ramps
- 16) Proposed Curb
- 17) Trees to remain and Tree Protection
- 18) Legend (Symbols and Abbreviations)
- 19) General Notes; ponds will not be the responsibility of the City
- 20) Make sure all roadway low points have drainage inlets
- 21) Each phase of construction must stand alone; i.e. each phase must be independent Of all other phases unless specific sequence of construction is provided for review
- 22) Placement of inlets shall not conflict with driveway or ADA ramp locations
- 23) Retaining walls location and elevations

## 5: Utilities Plan/Profile:

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### Plan:

N/A App. Staff

- |                          |                          |                          |  |     |
|--------------------------|--------------------------|--------------------------|--|-----|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 1) Existing Utilities Lines (Sanitary, Water, Gas, Telephone, Electric, Cable)   |     |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 2) Existing Power Poles  |     |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 3) Sanitary Sewer  |     |
|                          |                          |                          | a. Pipes (Size, Type, Length, Slope) Stationing at 50' intervals   |     |
|                          |                          |                          | b. Manholes (Type, Rim) Inverts In and Out, Station  |     |
|                          |                          |                          | c. House Laterals (Size and Type)  |     |
|                          |                          |                          | d. Pump Station (Easement)   |     |
|                          |                          |                          | e. Force Main (Size, Type, Length) Stationing at 50' intervals   |     |
|                          |                          |                          | f. Force Main Air Release and Cleanout Manholes, Station, Elevations   |     |
|                          |                          |                          | g. Identification Number and Stationing (ex. Line 13, MH-101)  |     |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 4) Easements (Label and Dimension)   |     |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 5) Water Mains (Size, Type)  |     |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6) Fire Hydrants (Existing, Proposed)  |     |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 7) Valves  |     |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 8) Service Connections   |     |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 9) Street names and Address numbers of Lots boxed, i.e. <table border="1" style="display: inline-table; vertical-align: middle;"><tr><td>101</td></tr></table> | 101 |
| 101                      |                          |                          |  |     |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 10) Lot Numbers  |     |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 11) Legend (Symbols, Abbreviations)  |     |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 12) General Notes  |     |

### Profile:

N/A App. Staff

- |                          |                          |                          |   |
|--------------------------|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 1) Manholes   |
|                          |                          |                          | a. Station of Structure (Left or Right)                 |
|                          |                          |                          | b. Rim Elevation  |
|                          |                          |                          | c. Inverts (In, Out, Each Pipe)                         |
|                          |                          |                          | d. Pipe (Check Clearance with Casting)                  |
|                          |                          |                          | e. Identification Number (See Plan)                     |
|                          |                          |                          | f. Show Water and Storm Piping conflicts and clearance  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 2) Sewer Gravity Main                                   |
|                          |                          |                          | a. Size   |
|                          |                          |                          | b. Material, Type                                       |
|                          |                          |                          | c. Length in feet                                       |
|                          |                          |                          | d. Slope in percent (%)                                 |
|                          |                          |                          | e. Check cover and clearance with water and storm pipes |
|                          |                          |                          | f. Concrete, Encasements at Crossings                   |
|                          |                          |                          | g. Show existing pipe/manholes in different symbols     |

## 6: Erosion Prevention and Sediment Control Plan:

---

N/A App. Staff

- |                          |                          |                          |                                  |
|--------------------------|--------------------------|--------------------------|----------------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 1) Existing Topographic Contours |
|--------------------------|--------------------------|--------------------------|----------------------------------|

- 2) Existing Drainage Structures or conduits and flow direction
- 3) Existing Natural Drainage conveyances (creeks, ditches, etc.) and flow direction
- 4) Existing Trees to Remain and Tree Protection
- 5) Floodplain and Floodway, if applicable
- 6) Proposed Lots and R.O.W.
- 7) Grading Limits and Proposed Contours
- 8) Total area to be cleared, graded, excavated, or filled
- 9) Proposed Construction Entrance(s)
- 10) All Proposed Structural BMPs (Silt Fence, Inlet Protection, Sediment basin, etc)
- 11) Details of all Proposed BMPs, if applicable
- 12) EPSC Notes
- 13) Proposed Phasing of BMPs, if applicable
- 14) Construction Sequence
- 15) Seeding Specifications and Seedbed preparation notes

## 7. Roadway Plan/Profile

---

### Plan:

N/A App. Staff

- 1) Stationing at 50' Intervals
- 2) Existing and Proposed Utilities
- 3) Centerline Curve and Line Labels (May be in Tabular Format)
- 4) Horizontal Curve Labels and Station (PC, PT)
- 5) Roadway Elements (R.O.W., Curb, Sidewalk, E.O.P.)
- 6) Street Names

### Profile:

N/A App. Staff

- 1) Stationing and Elevations at 50' Intervals
- 2) Existing and Proposed Centerline Profile and Elevations
- 3) Proposed Centerline Grades and Slope in Percent
- 4) Vertical Curve Labels and Station (PVC, PVI, PVT, High and Low Point, K-value, Length)
- 5) Intersections (Station at Roadway Centerline & Name)

## 8. Construction Details

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N/A App. Staff

- 1) Typical Street Cross Section with utility Locations
- 2) Curb Details
- 3) Sidewalk Details
- 4) Driveway Aprons
- 5) Storm Pipe Bedding (for paved and unpaved areas, and specific to each pipe material)
- 6) Drainage Structures (Inlets, Manholes, Castings)
- 7) Endwalls and Flared End Sections
- 8) Tree Planting & Tree Protection
- 9) Retaining Wall Details
- 10) Signage
- 11) Lighting (Fixtures, Poles, Limit of Illumination)
- 12) Temporary Cul-de-Sac

- 13) Detention Basin Outlet Structure
- 14) Traffic Signage, Pavement Markings (Striping, arrows, etc.)
- 15) Special Site Specific Details
- 16) Ditches and swales

**INFRASTRUCTURE DRAWINGS SUBMITTAL CHECKLIST FOR SUBDIVISION APPLICATION**

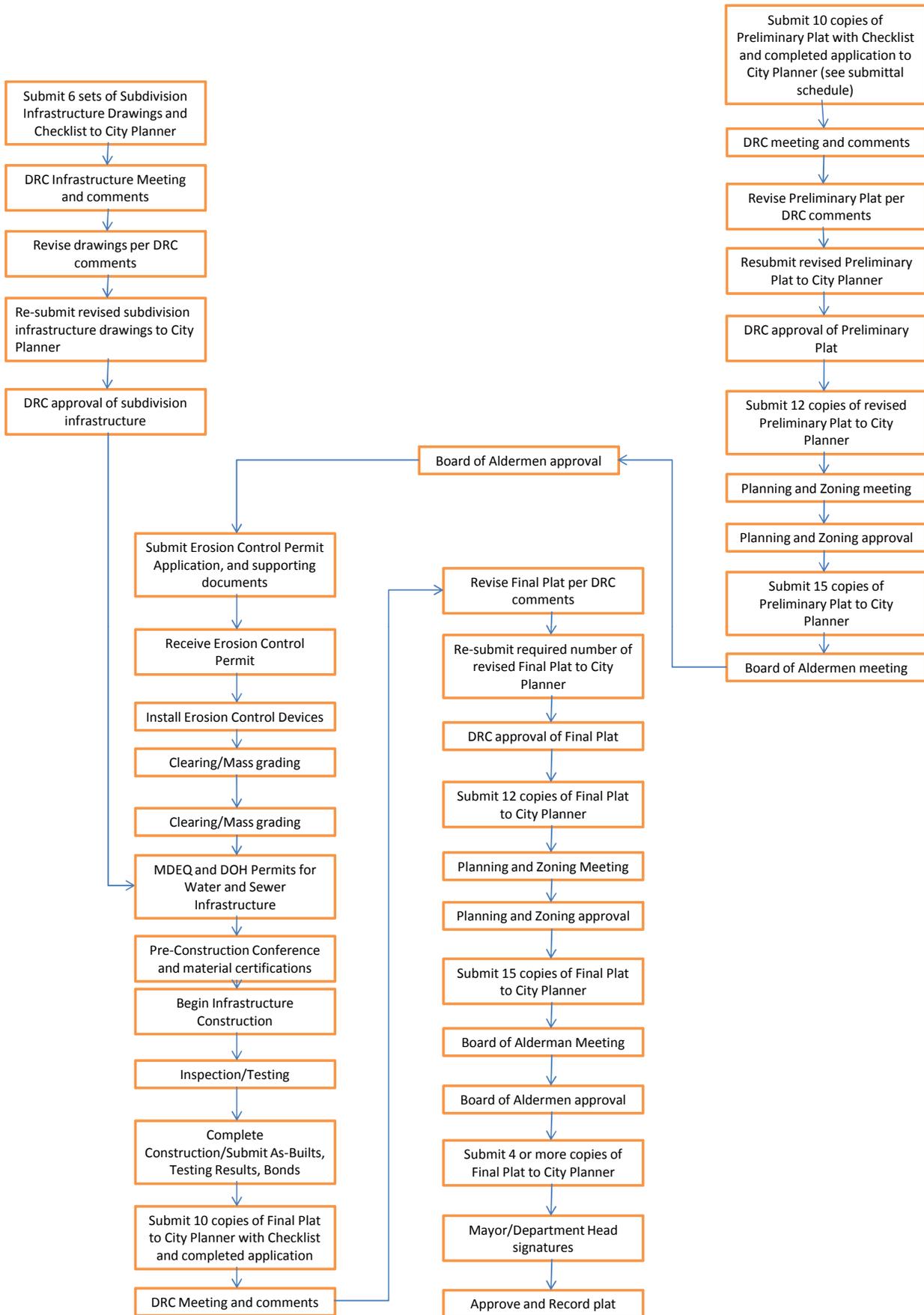
I acknowledge that plans or documents missing any of the required information will be deemed incomplete and not accepted for project review. Further, I understand that additional information or clarification may be requested during the review process or prior to plat recordation.

---

Applicant's Signature

Date

Development Review Committee Standard Subdivision Approval Process Flow Chart



Development Review Committee Standard Site Plan Approval Process Flow Chart

Submit 10 sets of Site Plan Infrastructure Drawings with Checklist and completed application to City Planner

*Submit by 5:00 PM Wednesday for the following Thursday's DRC meeting at 9:00AM*

DRC Meeting and comments

Revise drawings per DRC comments

Re-submit revised Site Plan infrastructure drawings to City Planner \*

\* Additional comments and DRC Meetings may be required

DRC approval of Site Plan infrastructure

Pre-Construction conference with contractor and owner

Pre-Construction conference and submit materials certification

Submit Erosion Control Permit Application, and supporting documents

Receive Erosion Control Permit

Install Erosion Control Devices

Clearing/Mass grading

Begin Site Plan Construction

Infrastructure Inspection/Testing

Submit 2 sets of Building Plans with completed application to City Planner

Code review and comments

Building Plans revision, if necessary

Building Permit

Building Inspections

Final Inspection

Certificate of Occupancy



**City of Starkville**  
**Development Review Committee**  
**Final Plat Checklist for Subdivision Applications**

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Please submit ten (10) folded copies of the Final Plat along with this completed checklist to the City Planner. When completing the checklist, please check the appropriate box. N/A – Not Applicable, Inc- Included in the Application Sup- Supplemental documentation enclosed with Application. Please note that all items are required unless they are not applicable.

Upon approval from Development Review Committee, submit 10 folded copies for review by Board of Aldermen. Upon approval from Board of Aldermen, submit 5 unfolded copies to the City Planner for final signatures.

**A. Items to Appear on Plat**

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- | N/A                      | Inc                      | Staff                    |   |
|--------------------------|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 1) Name of Subdivision  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 2) The name and registration of the surveyor preparing the plat   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 3) Source of title, giving deed record book and page number   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 4) Date of drawing, north point and graphic scale   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 5) Location of tract by legal description, giving total acreage   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6) Key map when more than one sheet is required to present the plan   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 7) True courses and distances to the two (2) nearest established section corners or benchmarks or other recognized permanent monuments which shall accurately describe the location of the plat   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 8) Accurate location and description of all monuments plus size and material of which the monuments are constructed   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 9) Exact boundary lines of the tract indicated by a heavy line or other acceptable control traverse, giving dimensions to the nearest one-tenth (1/10) foot, and angles to the nearest minute, which shall be balanced and closed with an error of closure not to exceed one (1) to five thousand (5,000) |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 10) Municipal, county and section line locations accurately tied to the lines of the subdivision by distances and angles  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 11) Street, alley and other right-of-way lines, including location, width and names of streets  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 12) The location or designation of all streets, alleys, parks and other areas intended to be dedicated or deeded to the public use, with proper dimensions  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 13) Street center lines showing angles of deflection, angles of intersection, radii, length of tangents and arcs, degree of curvature, and all required curve data  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 14) Lot lines with dimensions to the nearest one-tenth (1/10) foot, necessary internal angles, arcs and chords and radii of rounded corners   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 15) Dimension and location of all setback lines and lot and block numbers   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16) Easements and public service or utility right-of-way lines, giving dimensions, locations and purpose  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17) Accurate outlines and descriptions of any areas to be dedicated or reserved for public use or acquisition, with the purposes indicated thereon; and of any areas to be reserved by deed covenant for common use by all the property owners  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 18) Certificate of Surveying as indicated in Article IV, Section 4  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 19) Certificate of Engineering Accuracy as indicated in Article IV, Section 4   |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 20) Certificate of ownership as indicated in Article IV, Section 4  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 21) Certificate of final plat approval as indicated in Article IV, Section 4  |

- 22) Certificate of recording as indicated in Article IV, Section 4
- 23) Space for the approval of the Public Works Director, City Engineer, Electrical Provider (Starkville Electric Dept./ 4-County), City Planner, Fire Department, Mayor/Clerk
- 24) Four (4) elements of all circular curves shall be shown (radius, arc length, chord bearing and chord length)
- 25) All public and private rights-of-way or easements which are known or observed adjoining or crossing the land surveyed

**B. Supplemental Items- To be included on the plat or enclosed with the plat submittal**

N/A Inc Sup Staff

- 1) Bill of assurance including but not limited to the following provisions; offering dedication of streets and alleys, parks, and other public lands; establishing easements, setting forth privileges and conditions pertaining thereto, and setting forth the deed restrictions and covenants running with each lot; and the procedure by which amendments to the bill of assurance can be made. Such bill of assurance shall contain reference to the approval of the final plat
- 2) Certificate of approval of water supply and sanitary sewage disposal facilities by the appropriate health department when the system is not connected to the municipal system
- 3) Statement by owner dedicating streets, right-of-way, and any sites for public uses; the name of the mortgagee of the property or the fact that there is no mortgagee; and also a copy of a covenant running with the land stating that the city may at any time change the grade of any such street or other public way or any part thereof from the natural grade to the permanent grade without the payment of compensation or damages to the abutting property owners. The certificate shall include the consent by the mortgagee to the aforesaid dedication and covenant, if a lien holder does exist
- 4) Resolution by the board of aldermen accepting the dedication of all parks, public open spaces, streets, avenues and other public ways shown on the plat, together with the certification of the city clerk as to the correctness of the resolution
- 5) Notary's acknowledgement of the registered surveyor's certification, as well as the correctness of the signatures of the owners of the property and of the mortgagee if there is one
- 6) Resolution by the board of aldermen accepting or assenting to the vacation of any street, public way, or portion thereof shown on the plat, together with the certification of the city clerk as to the correctness of the resolution
- 7) The final plat shall be accompanied by three (3) copies of any protection covenants running with the land in form for recording
- 8) A CD containing a copy of the Final Plat and all As-Built Construction Drawings (i.e., water, sewer, storm drainage and roadways)
- 9) Test Reports (Subgrade- density every 400 LF; Asphalt- density every 400 LF and Asphalt Mix test; Concrete)
- 10) Bill of Assurance in the amount of 150% of the remaining improvements in the form of: a.) Contract, b.) Performance Bond, c.) Cash, Escrow, Irrevocable Letter of Credit

**FINAL PLAT CHECKLIST FOR SUBDIVISION APPLICATION**

I acknowledge that plans or documents missing any of the required information will be deemed incomplete and not accepted for project review. Further, I understand that additional information or clarification may be requested during the review process.

Applicant's Signature

Date



City of Starkville  
Development Review Committee

Preliminary Plat Submittal Checklist for Subdivision Applications

Please submit ten (10) folded copies of the preliminary plat along with this completed checklist to the City Planner. When completing the checklist, please check the appropriate box. N/A – Not Applicable; App- Included in the Application. Please note that all items are required unless they are not applicable.

A. Subdivision Plat Requirements

- N/A App. Staff
1) Title block which shall include the plat type, project name and property locations
2) Plat preparation date (mm/dd/yyyy) with each revision date(s) noted (mm/dd/yyyy)
3) Project information –
a. Subdivision, PUD
b. Mortgage holder, if applicable, name, address and phone number as well as contact person
4) Contact Information:
a. Property owner(s) of Record – Name, address and phone number. (If a corporation, identify contact person and their title)
b. Applicant(s) – Name, company name, title, address, phone number, fax number and email
c. Professional Design Consultant, Engineer and/or Surveyor – Name, company name, title, address, phone number, fax number, email, seal, signed and dated on each corresponding plan sheet
5) Map: Property map showing general configuration of proposed subdivision on the Title Sheet of plat
6) Map: Vicinity map showing relation of property to other subdivision phases, other developments, and surrounding area for a 1/2 mile radius
7) Tax map number(s) location of the tract by legal description, giving acreage and existing block and lot numbers of project property.
8) References to previously recorded plats. Note book, page and recording date
9) Note identifying if and how water and sewer are currently provided to the property (e.g. public, utility provider, private well, private septic, etc.) Note identifying how water will be provided to new lots
10) Flood Zone: flood zone designations, flood zone line(s), community panel number and flood map date
11) Legend of symbols
12) North arrow with reference
13) Numeric and graphic scale (preferred 1"=50')
14) Sheet index or property map sheet match lines delineated and identified if plat is multiple sheets
15) Sheet number and total sheet count (e.g. 1 of 2 sheets) if plat is multiple sheets

- 16) Curve/line data tables
  
- 17) Land Use/Site Data Table – Provide the following information for the entire subdivision and for each individual phase, if phasing
  - a. Gross Acreage within subdivision (total acreage of project area including open space, R.O.W.)
  - b. Net density = total number of residential lots and/or units divided by net acreage
  - c. Open space acreage information
  - d. Land use area acreage (e.g. commercial = # acres, mixed-use = # acres, residential = # acres, etc.)
  - e. Total maximum number of lots. Total number of residential units for mixed-use or multi-family developments
  
- 18) Boundary of the existing tract to be subdivided (bearings and distances) or of the subdivision phase
- 19) Phase lines, if applicable
- 20) Locations and names of natural drainage conveyances or existing drainage structures within or adjoining the tract
- 21) City limit line, if applicable
- 22) Distance to the nearest street intersection
- 23) Property markers – indicate all found markers and site markers including size and material
- 24) Names of adjacent recorded subdivisions/developments with plat or deed reference
- 25) Tax map numbers and the names of owners of abutting properties
- 26) Existing Features, Structures and Improvements: buildings, fences, wall, water bodies, ditches, streets (name, maintenance and width), curbing, sidewalks, drives and aprons, paved/gravel surfaces, parking, utility connections (size and type), lighting and power poles, manholes, inlets, valve and meter boxes, easements (type, width, ownership), known cultural or historical resources and/or archeological sites and cemeteries (acreage, name, dimensions), wooded areas, significant features
- 27) Encroachments: Identify all existing encroachments
- 28) Landscape buffers
- 29) Tree save areas
- 30) New Lots – Location of existing and proposed lot lines with courses/distances noted and lots to be reserved or deeded for public or community used identified with the ownership and maintenance responsibilities
- 31) Relationship of lot configuration and required setbacks- may be in tabular format.
- 32) Proposed drainage information as requested by the City Engineer.
- 33) All existing/proposed easements – description, width and if applicable, centerline data
- 34) ROW – Show proposed street layout within the development. Show proposed connections to existing streets and adjacent properties. Proposed streets should be identified as public or private. Note proposed ROW width. Label proposed street names. Provide centerline data for proposed ROW.
- 35) Street design including: ROW width, cul-de-sac length/diameter, tangent between curves, street jogs, curve radius, ROW entrance width, property line radii at street intersections, etc
- 36) Street connections to existing streets on adjoining developed and undeveloped tracts

- 37) ROW improvements – Show all proposed improvements to existing public roadways (i.e. widening, extending) on the plat
- 38) Label all HOA common areas
- 39) Sidewalks and other paths:
- 40) Public facilities – Proposed location of lands to be dedicated for public use or for public facilities. Note who will own and maintain these areas
- 41) Open space: Identify location, proposed use, proposed ownership and maintenance. Note who will own and maintain these areas
- 42) Parking areas, if applicable
- 43) Existing Floodplain and Elevations

**B. Supporting Documents**

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N/A App. Staff

- 1) Application: Submit application, checklist, and ten (10) folded copies of the preliminary plat to the City Planner.
- 2) Digital copy: One copy of the plat in Adobe Portable Document Format (PDF) on a CD. Plat will not be accepted for review without a CD.
- 3) Existing and proposed covenants and restrictions
- 4) Typical roadway cross-sections

**PRELIMINARY PLAT SUBMITTAL CHECKLIST FOR SUBDIVISION APPLICATION**

I acknowledge that plans or documents missing any of the required information will be deemed incomplete and not accepted for project review. Further, I understand that additional information or clarification may be requested during the review process or prior to plat recordation.

\_\_\_\_\_  
Applicant's Signature

\_\_\_\_\_  
Date